

PROPERTY INSPECTION REPORT

Prepared For: **John Doe (4)**

(Name of Client)

Concerning: **1234 Anywhere Ln. The Woodlands, Tx 77301**

(Address or Other Identification of Inspected Property)

By: **Rodney Sims / Lic # 10271, Teresa Sims / Lic # 20230**

(Name and License Number of Inspector)

09/16/2011 / 10:00am

(Date / Time)

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.state.tx.us. The TREC Standards of Practice (Sections 535.227-535.231 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector will note which systems and components were Inspected (I), Not Inspected (NI), Not Present (NP), and/or Deficient (D). General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing parts, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported as Deficient may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-1.

This property inspection is not an exhaustive inspection of the structure, systems, or components. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Items identified in the report do not obligate any party to make repairs or take other action, nor is the purchaser required to request that the seller take any action. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Inspection and Report by:
(Real Estate Inspection Specialist)



☐ Occupied

☒ Vacant

PRESENT AT INSPECTION: **Buyer / Listing Agent**

Weather Condition at Time of Inspection

☒ Clear

☐ Overcast/Hazy

☐ Cloudy

☐ Rainy

☐ Snow/Ice

Outside Temperature: Arrival **89° F.** Departure: **90° F.**

NOTE (Regarding PHOTOS in the report) The photos provided in this report SHOULD NOT be considered representative of the 'only' -or- 'most significant' items in the report. (The photos provided are merely for 'visual reference' of random items in the report.)

NOTE (Regarding bedroom numbering) In this Report, Bedrooms (except for the Master) are 'numbered' from 'right to left', around the house. (IE: bedroom-1, bedroom-2, etc...)

NOTE (Regarding Usage of the 'D - Deficiency' Code)

If the inspector notes a System (report section) as Deficient, it does not necessarily indicate that the 'entire' System is Deficient, but rather that 'at least one' Deficiency was noted for that System.

EXAMPLE: If the 'oven clock' is inoperative, the inspector will specifically note this on the report and, as required by TREC, also (flag) the report section for 'Ranges, Cooktops and Ovens' as Deficient. **(HOWEVER, this DOES NOT imply that the 'ENTIRE' Range, Cooktop and Oven was Deficient,** but rather that 'at least one' Deficiency was noted for this System).

NOTE (Regarding TREC OP-I Form (Hazards and Deficiencies))

Effective 02/01/2009, the Texas Real Estate Commission issued revised Standards of Practice (see the TREC OP-I form) **'mandating' Licensed Home Inspectors to report certain Hazards or Deficiencies**, even though these conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered". Some sections of this report 'may' reflect items which have been flagged as 'D' for 'Deficiency' as a result of this mandate. For further clarification of any of these items, please refer to the text of the TREC OP-I form at the end of this document.

Photo of Subject Property:

*Photo Removed for Confidentiality
of the Original Client*

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I	NI	NP	D	Inspection Item
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I. STRUCTURAL SYSTEMS

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A. Foundations

TREC 'Required' Information: Foundation Type:

'Conventionally Reinforced' Slab-on-Grade

Crawl Space Inspected From: **Not Applicable for a Slab**

NOTE: If the client has additional concerns regarding specific components of the foundation system, it is recommended that the client contact a competent professional Structural Engineer.

Comments: (An opinion on performance is mandatory):

-In the opinion of the Inspector, the foundation IS performing the function for which it was intended.

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B. Grading & Drainage

Comments:

NOTE: The inspector recommends installation of rain gutters to prevent roof water runoff from splashing toward the base of the stucco and causing possible deterioration of the OSB.

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C. Roof Covering Materials

TREC 'Required' Information: Roof Viewed From: **From ground/binoculars**Roof Covering (Type): **Composition** Levels NOT accessed: **ALL (except via binoculars)**Evidence of 'Previous Repairs' to Roof Coverings and Flashings: **Yes**Shingle Fastening Method: **Unable to Access**

Comments:

-The Gas Exhaust Vent 'Roof Jack' has an exposed opening because it does not have a rain collar on it above the roof. (This situation is causing rain water to enter the structure, which has apparently been flowing onto the water heater and then collecting in the overflow pan. The overflow pan is 'very' rusted'.)

-A Rubber Boot at a Roof Jack has an exposed opening due to damage and is not sealing properly. (This situation is may be causing rain water to enter the structure.)



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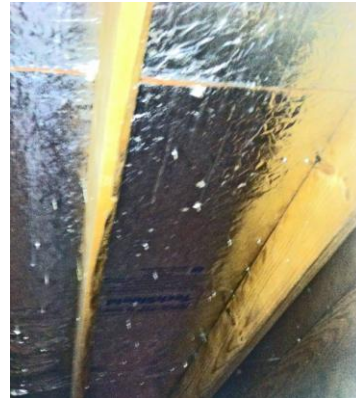
I	NI	NP	D	Inspection Item
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- A Rubber Boot at a Roof Jack has is substantially damaged and has been filled with spray foam. The roof decking also appears to be damaged at this location.**
(This situation has apparently caused damage and deterioration to a substantial amount of roof decking in the adjacent area.)



- A large area of roof decking over the master bath has substantial deterioration and damage due to an apparent leak in the PVC roof jack above the area. (See the above related item.)**

NOTE: Damaged or deteriorated roof decking is commonly 'mostly hidden' from view when TechShield is present.



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-A Rubber Boot at a Roof Jack has is damaged and is allowing water intrusion over bedroom-2.

NOTE: In the attic, there is a blue tarp under the area and there is a water stain on the ceiling under the area in bedroom-2.

(SEE report section for Ceilings & Floors for additional information.)



(Another damaged Rubber Boot at a Roof Jack)



-PVC vents should be painted as required. (This prevents deterioration by UV rays)

****IMPORTANT OVERALL NOTE:** The inspector observed damage, deficiencies, or incorrect installation of 'almost every' roof jack on the house. Based on this observation, the inspector recommends proper replacement of 'every' PVC and Gas Exhaust roof jack on the structure.

-A required 'Kickout Flashing' is not present in the front, to the upper left of the breezeway. (With stucco siding, properly instated Kickout flashings are IMPERATIVE to prevent possible water intrusion into the structure)



I=Inspected

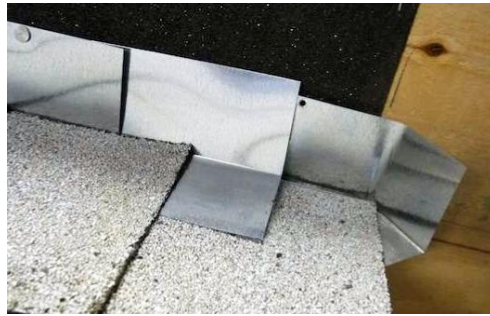
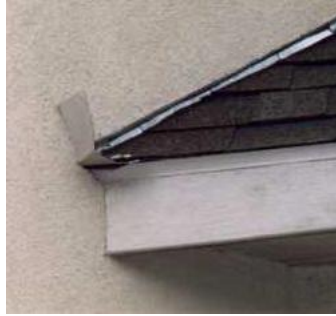
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(See the following photos for proper installation of Kickout Flashings)



NOTE: In the back, there has been apparent repair/replacement of the shingles in at least three or four locations.

NOTE: It is the inspector's understanding that the owner stated that they were due to a possible condition with the shingles (referred to in terms the inspector does not recall).



-There were exposed nail heads on the Apron Flashings in several locations.
(These should be sealed to prevent leakage)

-At least one of the Apron Flashings was not secured properly, as pictured below.



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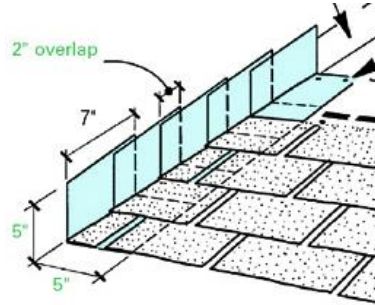
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-At the roof rake to side-wall intersections, in most locations, the incorrect flashing type 'J-Flashing', was used instead of Step-Flashing. Building Code 'requires' that Step-Flashing be used at these locations, 'not' J-Flashing.

CODE REFERENCE: R905.2.8.4 (Sidewall Flashing.)

**-Flashing against a vertical sidewall shall be by the Step-Flashing method.
'Correct' Step-Flashing Installation (as per Building Code)**



-The Soffit Material appeared to not be secured adequately in at least 2 locations.

NOTE: Based on the issues noted, the inspector recommends a thorough inspection of 'all' the Roofing Materials, Roof Jacks and Roof Decking by a competent professional roofing company.

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D. Roof Structure & Attic

TREC 'Required' Information (Attic):

Attic Viewed From: **Walked deck or safe area**

Approx. Avg. Depth of Insulation: **10"** Approx. Avg. Thickness of Vertical Insulation: **6"**

Comments:

-There is water damage and deterioration of the roof decking in at least two locations.

NOTE: Damaged or deteriorated roof decking is commonly 'mostly hidden' from view when TechShield is present.

(SEE report section for Roof Covering Materials for additional information.)

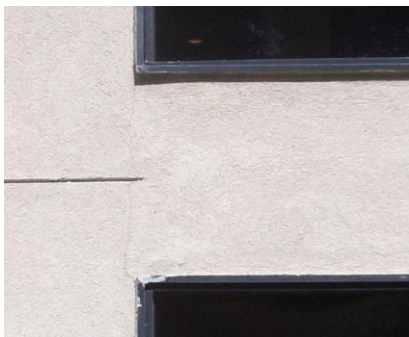
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E. Walls (Interior & Exterior)

Comments:

NOTE: It 'appears' that there may have been previous repairs to the stucco.

This is most apparent in the back at the large section of windows. In this area, it 'appears' that the Control Joints have been 'removed' or that mortar was placed 'over' the joints for some reason. .



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NOTE: Also, in some areas, there are significant differences in the surface texture of the mortar

(‘Apparent’ Variance in Texture)



(‘Apparent’ Kickout Flashing Adeed)



-In some areas, there are no Control Joints present as there should be. (‘Some’ areas without control joints are at the following locations:

-At the right of the front door

-On the left side

-In the back, at the large windows at certain areas

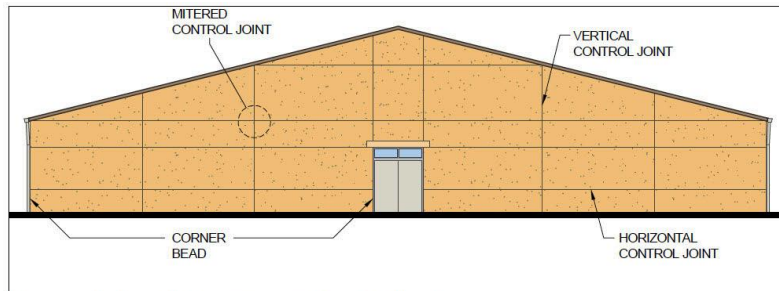
NOTE: Without control joints in the appropriate locations, slight ‘controlled’ movement is not possible and cracks in the stucco can occur.



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(Sample of possible Control Joint spacing and configuration)



Drawing 4: Typical Arrangement of Control Joints

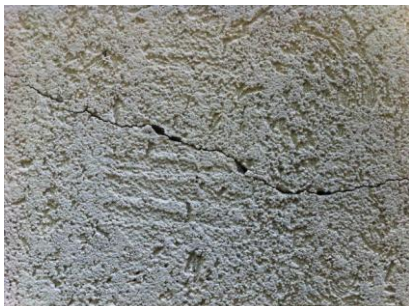
-There are 'many' cracks in the Stucco in numerous locations.

NOTE: Some of the cracks may be 'surface coat' only, but 'a few' may be deeper.

('Some' of the cracks are pictured below)



(Close up of photo to the left)



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- There is a crack in the stucco at the front right corner of the house, at the bottom.
- The stucco is damaged at the base, at the front left corner of the garage.

-The Stucco to Window intersections were not installed properly. There should have been a properly constructed 'Casing Bead' around the windows to prevent water intrusion into the structure. Additionally, at numerous locations, there are 'small gaps' at the sides of the windows where the stucco and windows do not meet.

NOTE: These 'gaps' can allow water penetration into the structure.

NOTE: The Casing Bead is comprised of a 3/8 – 1/2 gap around the windows, which is filled with Backer Rod and Elastomeric Sealant. (This joint facilitates expansion and contraction at different temperatures, where dissimilar materials meet.)

(**'Some' locations with Exposed Openings are pictured below**)

Side of Window

Top of a Window



Bottom of 2 Windows



*****NOTE:** At the base of some windows, the Stucco 'projects outward further' than the window. This condition can 'bead and collect' water, allowing it to penetrate behind the stucco. **(SEE ABOVE PHOTO)**

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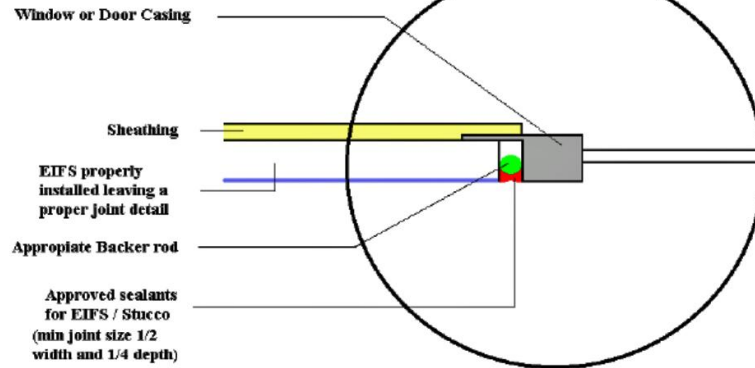
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(SEE the below detail for an example of 'proper' Installation of a Stucco Casing Bead Joint around Windows and Doors.)

Proper Window and Door Detail



- NOTE:**
- A great number of the windows project outward 'at differing amounts', while other windows are completely flush with the stucco.
 - 'Some' of the windows are installed flush in one area, but slant outward significantly at another area.
 - This issue may complicate a method to remediate an effective solution to the window joint solution. (SEE below photos for examples)

(Window flush at top and protruding at the Base)



(Window protruding almost 1-Inch at the Base)



(Window protruding excessively)



- At almost all of the windows, there is 'no' Head Cap Flashing at the windows.

IRC CODE REFERENCE: R703.8 (Exterior) Flashing.

Approved corrosion-resistant flashings shall be installed at all of the following locations:

1. At top of all exterior window and door openings in such a manner as to be leakproof.

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(Current Top of Window)



(Window with Proper Head Cap Flashing)



NOTE: The windows at the front of the garage are a different type, and have a 'pre-installed' Head Cap Flashing at the top. (If a 'pre-installed' Head Cap Flashing is NOT present on a window, one MUST be installed.)



-At numerous locations, the Stucco to Wood intersections were not installed properly. Some of the stucco has cracked away from the wood. (This issue is very similar to the stucco to window intersections, and can allow water penetration into the atructure.)

NOTE: The cracking of the stucco may have been caused by expansion and contraction at different temperatures, OR vibration and movement of the wood, such as at door jambs. This is why proper installation of Casing Bead Joints around windows, doors, etc... is so critical.



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-There is a major installation defect or damage to the Stucco in the front, to the upper left of the breezeway.

NOTE: The inspector highly recommends that this is repaired at the same time as the Kickout flashing is installed at the same location.

-At the same location, the Fascia Board is embedded in the stucco, which can cause water penetration into the structure.



(SEE below 'SAMPLE' photo of damage from a incorrect Kickout and Fascia installation)



-The bottom of the Stucco is in 'direct contact' with concrete. (Stucco should have a 2-inch clearance at the base, as required by building code.)

-VERY IMPORTANT NOTE: The 'purpose' of the 2-inch clearance at the base, is to provide the critical 'drainage plane' from behind the stucco, to facilitate drainage of any trapped water or condensation to the exterior of the structure.

(SEE the below 'SAMPLE' photo of stucco damaged by moisture because there was no 'drainage plane' at the base of the stucco)

SEE BELOW
(Example-1 from the inspected house)



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- In the front, a Water Heater Drain Line is almost half way buried in the stucco.
- Numerous exterior receptacles are not 'secured' and 'sealed' properly.
- The Dryer Vent is not secured and 'sealed' to the house.
- Numerous additional exterior wall penetrations are not Flashed and Sealed, as required.

(Some examples are pictured below)



- The Outside A/C Quick Disconnect Boxes and additional electric boxes should be sealed should be 'sealed' at the top and sides, to prevent water penetration.

NOTE: An outdoor receptacle the inspector examined under the window had an unusually rusted mounting nail in it. This 'may' be an indication of prior excess moisture in the wall.



- The A/C Refrigerant Lines are not 'Flashed', as required, to prevent water penetration into the structure. (It may be helpful to add a supplemental 'Refrigerant Line Cover' such as the one pictured at the lower right.)



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-At the base of the stucco, the Casing Bead has been 'incorrectly' filled in with mortar. (This is incorrect and detrimental because the back of the casing bead facilitates drainage of any moisture or condensation from behind the stucco.)h'

NOTE: In many some areas, the mortar had already become dislodged and fallen off.



-Due to the issues noted, the inspector Highly Recommends that the method of Stucco installation be reviewed and inspected by a Highly Competent Stucco Specialist.

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F. Ceilings & Floors

Comments:

-There is a water stain on the ceiling drywall in bedroom 2 near the ceiling fan.

NOTE: This stain is apparently due to a leak in a PVC roof jack above the room.

(SEE report section for Roof Covering Materials for additional information.)

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G. Doors (Interior & Exterior)

Comments:

-There is a crack in the door latch area in the entry door to the master bedroom.

-A double door 'top latch' does not function or catch properly, in the master bath.

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H. Windows

Comments:

-The Insulated Glass is fogged between the panes in numerous windows, at the following locations: (This indicates that the 'seal' between the glass panes is defective.)

-The upper middle window in the den.

-The billiard room, at all 3 windows.

-In bedroom 2, at the two middle windows and the left window.

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I	NI	NP	D	Inspection Item
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- The second window from the left in the dinette is difficult to open and close.
- The window above the sink in the laundry room could not be opened.
- The middle and left windows in the billiard room are difficult to open and close.
- A window in bedroom 2 has a damaged interior plastic strip.
- Some windows did not have screens as required

-Some of the windows have exposed 'screw holes' on the exterior. (This may be an indication of replacement or incorrect installation.)


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I. Stairways (Interior & Exterior)

Comments:

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J. Fireplace/ChimneyType: **Metal** Fuel Source: **Gas Log only**

Comments:

- The Fireplace Exhaust Flue is incorrectly in 'direct contact' with the attic insulation.


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K. Porches, Balconies, Decks, and CarportsComments: *Note: Structural load capabilities were not inspected*

- There are 'holes' in 2 of the columns in the front. (The columns are made of EIFS.)
- There is slight damage at the base of one of the columns.



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☐ ☐ ☒ ☐ L. Other

Comments:

II. ELECTRICAL SYSTEMS
☒ ☐ ☐ ☒ A. Service Entrance and Panels

(Refer to OP-I form at the end of this document for some TREC requirements)

Comments:

Panel-1: (left panel)**NOTE: 200-Amp Service****-There is not a Trip-Tie joining the breakers for TWO sets of (multi-wire branch circuits) at the positions (17 & 19) and (2 & n 4), as required by electric code.**NOTE: (Trip-Ties are required 'any time' Two Breakers feed two Hot leads through a single Romex circuit. This true for either a 220-volt circuit OR for a 110-volt Multi-Wire-Branch circuit.) (Note the grouped pair of black and red wires which will feed through the same Romex circuit.)**(One example is shown below)****-'Double lugging' and 'Triple Lugging' of Neutral wires was present, which is 'not' allowed.**NOTE: Each Neutral Wire in the panel 'must' be secured under an individual lug.**(Two examples are shown below)****Panel-2: (right panel)****NOTE: 200-Amp Service****-'Double lugging' and 'Triple Lugging' of Neutral wires was present, which is 'not' allowed.**

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B. Branch Circuits, Connected Devices, and Fixtures

TREC 'Required' Information: Type of Wiring: Copper

Comments: Note: Central Smoke Alarms were not tested.

RECEPTACLES:

- There is a 'open neutral' condition indicated for the two receptacles in the kitchen left of the cooktop. (These receptacles will 'not' function with this condition)
- A receptacle has a cracked Face Plate in the kitchen, left of the cooktop.
- A receptacle which 'should' be GFI protected, will not 'trip' properly at the island in the kitchen.
- A GFCI receptacle does not 'trip' properly when tested, on the patio, by the door. (The receptacle 'does' have power, but it 'will not' trip when a test device is used.) (This 'may' be also causing other receptacles tied to it, (which should be GFCI protected), to 'not trip' as they should.)
- A GFCI receptacle does not 'trip' properly when tested, second plug on the left of the house in the carport.
- There are several receptacles that did not have a Face Plate as required:
 - In the laundry room
 - A receptacle that is outside, to the right of the front door.
- The receptacle in the half bath, off of the hallway, has a face plate with no screws.
- A receptacle indicated an 'open ground' condition (ground wire not connected), at the following location:
 - Behind the double doors in the room directly off the billiard room.
- The GFCI receptacle, first plug on the left of the house in the carport, is not secure.

LIGHTS:

- A Light fixture 'appears' to be not functional in the bathroom shower that is in bedroom 1, upstairs. (NOTE: It 'may' have a burned out bulb)
- The Recessed Can Lights, in the attic are NOT RATED for direct contact with combustible materials, BUT 'are' in direct contact with insulation. (This is a fire safety code.)
- In the upper attic, one sheet of attic decking is resting on a recessed can light, AND the can light is not IC rated. (This is a fire safety code.)



- The ceiling fans wobble in bedroom 3.

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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A. Heating Equipment

Heating (Unit-1):

TREC 'Required' Information: Type of Heating System: **Furnace** Energy Source: **Gas**

Comments: (Unit-1)

NOTE: Unit-1 is the 'first' unit in the attic.

-The gas line to the furnace did not have the required 'drip leg' (sediment trap).
(This prevents any sediment from entering the furnace burners)

-The furnace power cord for the blower motor does not have the required 'grommet protection' where it enters the furnace. (This is an Electrical Hazard.)

-The Exhaust Vent has been downsized from a 4-inch vent to a 3-inch vent, which is not allowed. (Also, the corresponding roof jack is a 3-inch jack designed for a Water Heater, not a furnace.)



Heating (Unit-2):

Comments: (Unit-2)

NOTE: Unit-2 is the 'second' unit in the attic.

-The gas line to the furnace did not have the required 'drip leg' (sediment trap).
(This prevents any sediment from entering the furnace burners)

Note: Gas furnace heat exchangers cannot be thoroughly inspected without disassembly.

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B. Cooling Equipment

Cooling (Unit-1):

TREC 'Required' Information: Type of Cooling Systems: **Conventional** Energy Source: **Electric**

Cooling Test Results: Return Temp. **73** Supply Temp. **57** Differential **16**

Comments: (Unit-1)

NOTE: Unit-1 is the 'first' floor unit.

NOTE: Brand=York Model=H1RC060S06D 5-TON System

NOTE: There is a high quality float-type emergency shutoff switch on the overflow pan.

NOTE: The 'temperature differential' taken inside the house at the return grill and supply registers was 16 degrees. (This is 'within' the recommended 15-20 temperature differential range)

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-The outdoor refrigerant lines are not properly protected where they penetrate the Stucco. Also, one of the suction lines (pictured below) did not appear to be insulated as it entered into the house, as is required.



Cooling (Unit-2): Cooling Test Results: Return Temp. 71 Supply Temp. 54 Differential 17

Comments: (Unit-2)

NOTE: Unit-2 is the 'second' floor unit.

NOTE: Brand=TRANE Model=2TTR3060A1000AA 5-TON System

NOTE: Manufacture Date: 7/2006

NOTE: The Cooling System 'outdoor condenser' appears to be a 13-SEER rating.

NOTE: There is a high quality float-type emergency shutoff switch on the overflow pan.

NOTE: The 'temperature differential' taken inside the house at the return grill and supply registers was 17 degrees. (This is 'within' the recommended 15-20 temperature differential range)

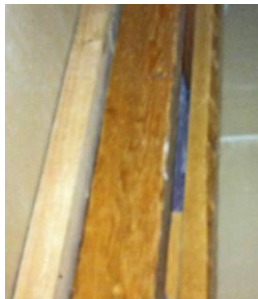


C. Duct System, Chases, and Vents

Comments:

-The Return Air Chase is not sealed with 'Hard Cast' material as it should be.

NOTE: If the return chase is not properly sealed, it will allow sheetrock dust, insulation and contaminants to be pulled into the chase 'through' the adjacent walls and ceiling joists.



-The ductwork was noted to be 'kinked' in several locations. (Manufacturer Installation Instructions state that Flex Duct must be 'stretched' so that it is as straight as possible, without kinks that restrict airflow.) (Kinks restrict airflow, prevent the HVAC system from functioning at 'full efficiency, and can prevent proper cooling and heating to affected rooms.)

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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IV. PLUMBING SYSTEM
☒ ☐ ☐ ☒
A. Water Supply System and FixturesTREC 'Required' Information: Static water pressure reading: **60-PSI**Location of water meter: **Street**

Comments:

-Bathrooms:

- The ½ bath sink, located off the hallway, when the water is turned off the water runs off the spout and onto the counter.
- The sink drain assembly 'leaks', in the master bathroom the right sink.
- The shower drains slowly in the master bathroom.
- The hot water knob to the sink in bedroom 1 is loose.
- The hot and cold water lines were 'reversed' on the guest bathroom, upstairs.
- The sink drain assembly 'leaks', in the guest bathroom by bedroom 3.
(It 'appears' that a previous patch was attempted.)



- The faucet is loose in the bath tub in the guest bathroom by bedroom 3.
- The shower head in the guest bathroom by bedroom 3, leaks at the 'pivot' joint, and needs to be tightened. It also 'can' spray water into the room due to a missing attachment.

-Outside Plumbing:

- The outside faucets are not insulated, as required.

☒ ☐ ☐ ☐
B. Drains, Wastes, and Vents

Comments:

☒ ☐ ☐ ☒
C. Water Heating Equipment**Water Heating (Unit-1):**TREC 'Required' Information: Energy Source: **Gas** Capacity: **50-Gal**

Comments: (Unit-1)

NOTE: Water Heater-1 (lower attic)

- The water heater overflow pan is **Very Rusted**. (This has apparently been caused by a significant water leak at the exhaust vent roof jack.)

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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- The gas line to the water heater did not have the required 'drip leg' (sediment trap).
(This prevents any sediment from entering the water heater burners)
- The Gas Exhaust Vent is not properly secured as required.

Water Heating (Unit-2):

TREC 'Required' Information: Energy Source: Gas Capacity: 50-Gal

Comments: (Unit-2)

NOTE: Water Heater-2 (upper attic)

- The water heater Gas Exhaust Vent does not extend 2-Feet above the roof line, as required. NOTE: Even though from the outside it 'appears' to extend above the roof, it 'does not'. (It currently terminates at the base of the roof jack, almost level with the decking, without extending through it at all.)
- The Gas Exhaust Vent is not properly secured as required.
- The gas line to the water heater did not have the required 'drip leg' (sediment trap).
(This prevents any sediment from entering the water heater burners)
- The water heater supply lines do not have the required dielectric fittings. (These fittings prevent corrosion)
- The water heater supply lines, fittings or valves are corroded.

☒ ☐ ☐ ☒
D. Hydro-Massage Therapy Equipment

Comments:

- The Hydro-Therapy pump and motor are not 'readily accessible', as required. (TREC defines 'Readily' Accessible as, 'quickly accessible'. IE: 'Not' having to remove tile, or 'cut out caulk joints' to remove a panel.)

V. APPLIANCES
☒ ☐ ☐ ☒
A. Dishwasher

Comments:

- The dishwasher drain line 'high loop' was not present as required. (This is a backflow prevention requirement.)

☒ ☐ ☐ ☒
B. Food Waste Disposer

Comments:

- The food waste disposer has a torn rubber Splash Guard.

☒ ☐ ☐ ☐
C. Range Exhaust Vent

Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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☒ ☐ ☐ ☐
D. Ranges, Cooktops, and Ovens

Range Source:

Cooktop Source:

ElectricOven Source: **Electric** Convection Oven (Y/N): **No**Oven Temp Test: (Oven set to 350°F) Actual Temp: (Oven-1 **350°F**) (Oven-2 **325°F**)

Comments:

Note: There is a small Chip to the left on the knobs on the front edge of the cooktop.
☒ ☐ ☐ ☐
E. Microwave OvenConvection Microwave (Y/N): **No**

Comments:

☒ ☐ ☐ ☐
F. Trash Compactor

Comments:

☒ ☐ ☐ ☒
G. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

-At least one Mechanical Exhaust Vent (fans) do not exit to the outside air as required.(Terminating into a 'soffit' is not allowed) (**NOTE:** Especially in a humid environment, it is 'very important' that additional humidity from the bathrooms 'not' be channeled into the attic area, or into the soffit area.)
☒ ☐ ☐ ☐
H. Garage Door Operator(s)

Comments:

☒ ☐ ☐ ☐
I. Doorbell and Chimes

Comments:

☒ ☐ ☐ ☐
J. Dryer Vents

Comments:

-The dryer vent cover is not sealed to the house. (SEE report section for Walls – Exterior)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
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VI. OPTIONAL SYSTEMS
☐ ☒ ☐ ☐
A. Lawn and Garden Sprinkler Systems

Comments:

☐ ☒ ☐ ☐
B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

☐ ☐ ☒ ☐
C. Outbuildings

Comments:

☒ ☐ ☐ ☐
D. Outdoor Cooking Equipment

Comments:

☒ ☐ ☐ ☐
E. Gas Supply Systems

Comments:

- No 'general' gas line check was done. (most gas system lines are inaccessible)
- The inspector checked for gas 'leaks' at each individual system / appliance.
- (see individual report sections for details)

☐ ☐ ☒ ☐
F. Private Water Wells (A coliform analysis is recommended.)

Comments:

☐ ☐ ☒ ☐
G. Private Sewage Disposal (Septic) Systems

Comments:

☐ ☐ ☒ ☐
H. Whole House Vacuum Systems

Comments:

☒ ☐ ☐ ☒
I. Other Built-in Appliances

Comments:

-The Ice Maker appears to NOT be functioning properly.

NOTE: Refrigerator is a built in, and appears to function properly.

NOTE: Wine Cooler, and appears to function properly.



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)
P.O. BOX 12188, AUSTIN, TX 78711-2188

10-27-08

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- ordinary glass in locations where modern construction techniques call for safety glass;
- the lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

This form has been approved by the Texas Real Estate Commission for voluntary use by its licensees. Copies of TREC rules governing real estate brokers, salesperson and real estate inspectors are available at nominal cost from TREC. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, 1-800-250-8732 or (512) 459-6544 (<http://www.trec.state.tx.us>)

TREC Form No. OP-I

This form is available on the TREC website at www.trec.state.tx.us

Important Limitations and Disclaimers

This Property Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be “operable” or “inoperable” at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are reasonably observable at the time of inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably observable at the time of the inspection or of items which require the removal of major or permanent coverings. For example, but without limitation, recent repairs, painting or covering may conceal prior or present leak damage which is not reasonably observable by the inspector and no representation or comment can be made. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item. Client must notify Real Estate Inspection Specialist in writing of any complaints within seven (7) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. Real Estate Inspection Specialist reserves the right to ‘amend’ this Property Inspection Report, within 5-days of the inspection date, in the event the inspector deems a revision, correction or addition to this report is necessary. All items contained or implied in this Report are subject to the Pre-Inspection Service Agreement signed by the Client and Real Estate Inspection Specialist. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on the date indicated on this report.

INSPECTED BY: Rodney Sims LICENSE #: 10271

(Real Estate Inspection Specialist)

CELL: 713-829-7732

rodney@rei-specialist.com

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A message from Rodney Sims:

I thank you for your trust and confidence in Real Estate Inspection Specialist.

I have built my company with the focus on ‘serving the client’, and providing the highest quality inspections and reports available (anywhere). I go the extra mile to guarantee your satisfaction.

If you are pleased with my service to you, I would appreciate your referral of my company to your friends and colleagues.

Thank you,

Rodney Sims (Owner / Inspector)

Real Estate Inspection Specialist

